# OLD SCAGGSVILLE ROAD



CGC BUILDERS, UC 8489 Heatherwold Drive laurel, Maryland 20723 (301) 490-9171

> PERMIT/PRICING SET JULY 15, 2005

LICENSE, REGISTRATION, OR CERTIFICATION SAVE THIS PORTION OF CARD AND USE REVERSE SIDE FOR NAME AND/OR ADDRESS CHANGES, BOARD MUST BE NOTIFIED OF THESE CHANGES IMMEDIATELY. IMPROVEMENT STATE OF MARYLAND
DEPARTMENT OF LABOR, LICENSING AND REGULATION
MARYLAND HOME IMPROVEMENT COMMISSION COMMISSION 500 N. CALVERT STREET BALTIMORE, MD. 21202-3651 STUART EDWARDS COLVIN 01 71223 CONTRACTOR/SALESMAN STUART EDWARDS COLVIN CGC BUILDERS 01 71223 71223 O5-22-2003 N/A 01 8489 HEATHRWOOD DRIVE LICENSE REGISTRATION, OR CERTIFICATION MD 20723-0000 Partis N. Glendening Kathleen Kennedy Townsend Lt. Governor LAUREL

Maryland Home Builder Registration No.: 232

TITLE

COVER SHEET

CONSTRUCTION NOTES

EXISTING PLANS AND ELEVATIONS

ELEVATIONS

FOUNDATION PLAN

FIRST FLOOR PLAN AND DEMO

SECOND FLOOR PLAN AND DEMO

OPT. GARAGE ELEV. AND SECTIONS

OPTIONAL GARAGE PLANS

SECTIONS AND DETAILS

SECTIONS AND DETAILS

DRAWING INDEX

BASEMENT 380
FIRST FLOOR 1,177
SECOND FLOOR 870
TOTAL 2,427

OPT. GARAGE 690
OPT. OFFICE 511

*SQUARE FOOTAGE* 

## JONATHAN P. BUTTS

ARCHITECTURAL DESIGNER 8418 BELDALE COURT BALTIMORE, MARYLAND 21236 (410) 599-9587

JOHN L. SCHNEIDER, PE STRUCTURAL ENGINEER IOO NORTH ROLLING ROAD CATONSVILLE, MARYLAND 21228 (410) 744-1945 WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS, SPECS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.

PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR

ALL CLOSETS ARE TO HAVE THE SAME FINISH AS THE ADJOINING ROOM UNLESS OTHERWISE NOTED.

PROVIDE 22 1/2" X 30" ATTIC ACCESS WITH SWITCHED LIGHT, UNLESS OTHERWISE NOTED.

PROVIDE PLUMBING FIXTURE ACCESS PANEL AT EACH TUB AND SHOWER ENCLOSURE AS REQUIRED BY LOCAL JURISDICTION.

PROVIDE HANDRAILS 30"-38" ABOVE NOSINGS ON ALL STAIRS W/THREE OR MORE RISERS. RETURN RAILS TO WALL OR NEWEL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIR. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC.. 30" OR MORE ABOVE GRADE OR FLOOR BELOW. GUARDS SHALL BE MIN. 36" HIGH AND HAVE CLOSURES SPACED TO PEVENT PASSAGE OF A 4" SPHERE.

PROVIDE NOMINAL 2X FIRE BLOCKING AT EVERY FLOOR INTERVAL, BULKHEAD AND CHASE. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE 1/2" G.B. DRAFTSTOPPING, NOT TO EXCEED 500 S.F.

PROVIDE A MINIMUM OF TWO 2X4 DIAGONAL BRACES AT APPROX. 45 DEGREE ANGLE AT MID-POINT OF SPAN FROM BOTTOM CHORD TO RIDGE OF ROOF TRUSSES. INSTALL OTHER BRACES AS REQUIRED BY THE TRUSS MANUFACTURER'S SHOP DRAWINGS AND IN COMPLIANCE WITH HIB 91 SUPPLIED BY MANUFACTURER.

PROVIDE A MINIMUM OF 6'-9" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED & 1/4"AND TREADS SHALL BE AT LEAST 9" WITH 1" NOSING.

PROVIDE SOFFIT VENTS, RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1/300 FREE VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD BAFFLES IN EACH TRUSS/RAFTER BAY TO MAINTAIN FREE AIR FLOW.

MECHANICAL, PLUMBING, AND ELECTRICAL CONSTRACTORS SHALL BE REQUIRED TO SEAL ALL PENETRATIONS IN FLOORS AND EXTERIOR WALLS CAUSED BY THEIR TRADES.

ROUGH CARPENTRY CONTRACTORS SHALL SEAL ALL PANEL BUTT JOINTS AND PLATES AT FLOORS, CEILINGS, WINDOWS, DOOR FLANGES, AND JAMBS.

SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATIONS.

SLOPE ALL STOOPS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN, OR AS NOTED ON PLANS.

ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS, AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.

CHIMNEYS SHALL EXTEND A MINIMUM OF 2' ABOVE ANY ROOF STRUCTURE WITHIN 10 FEET, BUT NOT LESS THAN 3' AT POINT OF ROOF PENETRATION.

FLOOR JOISTS/TRUSSES AND ROOF TRUSSES SHALL ALIGN WITH BEARING STUDS +/- I".

PRIVATE GARAGES SHALL BE SEPARATED FROM DWELLING AND ATTIC WITH 1/2" GYPSUM BOARD ON GARAGE SIDE. IF PERMIT IS ISSUED UNDER THE BOCA CODE, PROVIDE ONE-HOUR RATED SEPARATION BETWEEN GARAGE AND LIVING SPACES OVER OR IN ACCORDANCE WITH SPECIFIC REQUIREMENTS OF THE LOCAL JURISDICTION.

PROVIDE MINIMUM 4" STEP DOWN INTO GARAGE FROM DWELLING.

#### SPECIFICATIONS:

GENERAL CONDITIONS

CONSTRUCTION SHALL COMPLY WITH THE LATEST ADDITION OF INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000 AND ALL APPLICABLE LOCAL CODES AND AMENDMENTS.

ALL CONSTRUCTION SHALL BE CLASSIFIED AS "USE GROUP R-3, TYPE 5-B CONSTRUCTION" WHEN REVIEWED UNDER IBC 2000

DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. GENERAL CONTRACTORS AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.

DESIGN LIVE LOADS 30 PSF SNOW LOADS: SLEEPING FLOORS: 30 PSF ROOF: 12.6 PSF LIVING FLOORS : 40 PSF GROUND: 20.0 PSF EXTERIOR DECKS: 60 PSF FLAT ROOF: 14.0 PSF 40 PSF STAIRS: EXP. FACTOR: GARAGE SLABS: 50 PSF IMPORT FACTOR: ATTIC AREAS

10 PSF UNACCESSIBLE: **ACCESSIBLE** 20 PSF 16 PSF (EXPOSURE C) WIND LOAD: FLUID PRESSURE: 30 PCF MAXIMUM

LOADS GREATER THAN 30 PCF REQUIRE FOUNDATION WALLS TO BE EMGINEERED SOIL BEAARING: 2000 PSF(ASSUMED) GUARD RAILS: 200# AT ANY POINT IN ANY DIRECTION.

#### SITE WORK

EXCAVATION SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FOR FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON SOFT OR FROZEN MATERIAL

MINIMUM SOIL BEARING CAPACITY IS ASSUMED TO BE 2000 PSF AT ALL WALL AND PIER FOOTINGS. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THAT THE ABOVE BEARING CAPACITY IS OBTAINABLE, OR TO NOTIFY THE ARCHITECT IF SPECIAL DESIGN IS REQUIRED.

BACKFILL AND COMPACTION: USE ONLY CLEAN EARTH CONTAINING NO ORGANIC MATTER, GRADED WITH POSITIVE SLOPE. FILL BENEATH STRUCTURE SHALL BE COMPACTED TO 90% DENSITY AS PER ASTM DI557 METHOD D.

PROVIDE 4" MINIMUM CONTINUOUS DRAIN TILE AROUND PERIMETER OF BASEMENT FOUNDATION - LOCATION TO BE DETERMINED BY LOCAL CODES FOR INSIDE OR OUTSIDE OF FOUNDATION. PROVIDE UNDER SLAB VENTING AS REQUIRED BY LOCAL JURISDICTION.

#### CONCRETE

3.01 CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE STANDARD 318-83.

CONCRETE FOOTINGS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI (UNLESS OTHERWISE NOTED.)

ALL INTERIOR CONCRETE SLABS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.

REINFORCING RODS: ASTM A-615 AND A-305 MESH: 6X6 -1.4/1.4 WWF ASTM A-185. REINFORCING IN FOOTINGS IS REQUIRED WHERE VARIATIONS IN SOIL CONDITIONS MAY EXIST.

ALL INTERIOR CONCRETE SLABS 30 FEET OR MORE IN ANY DIMENSION SHALL HAVE WWF, CONTROL JOINTS, OR FIBER REINFORCEMENT.

3.06 VAPOR BARRIER UNDER ALL SLABS EXCEPT GARAGES: 6 MIL POLYETHYLENE, LAP ALL EDGES 6", LAY OVER 4" GRAVEL BED.

EXTERIOR CONCRETE SLABS: 5% TO 7% AIR ENTRAINED AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000

FOUNDATION WALLS: POURED IN PLACE WALLS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. (SEE

THE BOTTOM OF ANY FOOTING SHALL BE A MINIMUM OF 2'-8" BELOW FINISHED GRADE: DEEPER IF LOCAL FROST CONDITIONS WARRANT.

#### MASONRY

4.01.0 THE MAXIMUM VERTICAL DISTANCE OF UNBALANCED FILL MEASURED FROM THE TOP OF THE LOWER LEVEL FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCEED THE FOLLOWING: HEIGHTS ARE FOR UNREINFORCED WALLS WHERE UNSTABLE SOIL OR GROUND WATER CONDITIONS DO NOT EXIST. TYPE OF WALL HEIGHT OF FILL 8" C.M.U. (HOLLOW) 12" C.M.U. (HOLLOW) 6'-0" 8" POURED CONCRETE 7'-0" HEIGHTS MAY BE INCREASED WITH THE APPROVAL OF THE LOCAL JURISDICTION, OR REINFORCING.

WALLS OVER 7'-O" OR ON UNSTABLE SOIL SHALL BE ENGINEERED

AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.

CONCRETE MASONRY UNITS SHALL BE MANUFACTURED TO MEET ASTM C-90 GRADE A SOLID BLOCK OR ASTM C-145 GRADE B STANDARDS AND BE 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSION STRENGTH OF BLOCK TO BE 2000

PARGING OVER CMU WALLS TO BE NOT LESS THAN 3/8" PORTLAND CEMENT PARGING FROM FOOTING TO FINISHED GRADE. PARGING AND POURED CONCRETE WALLS SHALL BE COVERED WITH A COAT OF APPROVED BITUMINOUS MATERIAL APPLIED AT THE RECOMMENDED RATE BELOW GRADE (SEE 1.0)

EXTREME CARE AND PROPER MEASURES SHALL BE USED SO AS NOT TO DAMAGE, BULGE, OR TIP WALL. SHORING, BRACING, ETC., SHALL BE EMPLOYED UNTIL THE FULL DEAD LOAD OF THE BUILDING IS ON THE WALLS.

MASONARY LINTELS: PROVIDE LIGHT WEIGHT PRE-CAST LINTELS FOR ALL OPENINGS AND RECESSES IN CMU WALLS. PROVIDE (1) 4X8 LINTEL FOR EACH 4" OF WALL THICKNESS. REINFORCE EACH LINTEL WITH TWO #4 BARS AT TOP AND BOTTOM AND WITH #2 TIES SPACED 9" O.C., UNLESS OTHERWISE NOTED. PRECAST LINTEL TO HAVE MINIMUM 8" BEARING AT EACH END. SUCH LINTELS SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.

USE TYPE "M" MORTAR FOR MASONRY BELOW GRADE IN CONTACT WITH EARTH.

USE TYPE "N" MORTAR FOR EXTERIOR ABOVE-GRADE LOAD BEARING AND NON-LOAD BEARING WALLS, AND FOR OTHER APPLICATIONS WHERE ANOTHER TYPE IS NOT INDICATED.

MASONRY VENEER SHALL BE INSTALLED OVER 15# FELT OR APPROVED WATER REPELLENT SHEATHING. THROUGH-WALL FLASHING AND WEEPS SHALL BE PROVIDED AT ANY LOCATION WHERE INTERIOR SPACE PROJECTS BEYOND FACE OF THE VENEER, IE. BAY WINDOWS, OFF-SET CHIMNEYS, ETC.

IF APPLICABLE AND SHOWN IN THE DRAWINGS FOR ATTACHED DWELLINGS, MASONRY PARTY WALLS SHALL BE CONSTRUCTED OF CLASSIFICATION D-2, 8" CMU IN ACCORDANCE WITH UL-U905 TO PROVIDE 2-HOUR SEPARATION FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING. SEE 6.08.4.

BEAMS OR HEADERS BEARING ON MASONRY PARTY WALLS SHALL HAVE MIN. 4" MASONRY SEPARATION FROM ADJACENT DWELLING, AND SHALL BE FIRE CUT.

#### METALS

5.01 STRAP ANCHORS OR ANCHOR BOLTS SHALL BE BOCA CODE AND BUILDING INSPECTOR APPROVED. MINIMUM (2) 1/2" ØBOLTS PER SECTION OR PLATING 12" FROM EACH END WITH INTERMEDIATE BOLTS AT 6'-O" O.C. MAXIMUM, STRAP SPACING BY MANUFACTURER.

METAL JOIST HANGERS (STANDARD WOOD LEDGER) SHALL BE USED WHERE REQUIRED AT JOISTS WITHOUT DIRECT BEARING AND BE 18 GA. GALVANIZED STEEL. USE ALL NAILS SPECIFIED BY THE MANUFACTURER.

NAILS: USE NUMBER AND TYPE FOR EACH APPLICATION AS CALLED FOR IN THE BOCA CODE, APPENDIX C.OR MANUFACTURER'S RECOMMENDED STANDARDS.

VENEER TIES SHALL BE I" WIDE, 22 GA., GALVANIZED STEEL INSTALLED 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY.

STEEL LINTELS FOR ALL OPENINGS AND RECESSES IN BRICK OR BRICK FACED MASONRY WALL NOT SPECIFICALLY DETAILED: PROVIDE (1) STEEL ANGLE FOR EACH 4" OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM 6" BEARING AT EACH END.

HORIZONTAL LEG SHALL BE 3 1/2:, UNLESS OTHERWISE SHOWN. LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS): L-I 3 I/2"X3 I/2" X 5/I6" STEEL ANGLE UP TO 3' OPG. L-2 4"X3 1/2" X 5/16" STEEL ANGLE 3' TO 5' OPG. L-3 5"X3 1/2" X 3/8" STEEL ANGLE 5' TO 6'-6" OPG. L-4 6"X3 1/2" X 1/2" STEEL ANGLE UP TO 9' OPG. L-5 6"X4"X5/8" STEEL ANGLE UP TO 10' OPG. L-6 8"OR 9"X4"X9/16" STEEL ANGLE 16' GARAGE DOOR OPG.

LINTELS SHOWN SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS. 5.05.2 ALL STEEL ANGLES IN MASONRY WALLS ARE TO BE FLASHED AND PAINTED.

PAINT ALL EXTERIOR FERROUS OR GALVANIZED METALS EXCEPT COMPLETELY PRE-FINISHED FACTORY ITEMS.

ADJUSTABLE STEEL COLUMNS SHOWN ON THE DRAWINGS SHALL BE MANUFACTURED BY TAPCO (BOCA NO. 89-59), AFCO (BOCA NO. 91-42), OR CARDINAL (BOCA NO. 88-40) IN O.D. SIZES SPECIFIED.

#### WOOD

ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE "CONSTRUCTION MANUAL" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.

PRESSURE TREATED WOOD IS TO MEET AMERICAN WOOD PRESERVES INSTITUTE STANDARD LP-2 OR LP-4.

JOISTS AND GIRDERS: SEE PLANS FOR SIZE, SPACING AND MINIMUM GRADE AND SPECIES. HEM FIR AND SPRUCE-PINE-FIR (SPF) SHALL BE NORTHERN SPECIES ONLY.

PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER 5'-O" IN LENGTH UNLESS MANUFACTURED JOIST SYSTEM HAS BEEN SPECIFIED.

WHEN LAMINATED BEAMS ARE SPECIFIED ON THE DRAWINGS AS LVL OR PSL, THEY ARE INTERCHANGEABLE. (MIN. F/b=2800

BERING WALL STUDS: MINIMUM SPF STUD GRADE, KD OR BETTER.

EXTERIOR WALLS, INTERIOR BEARING WALLS AND WALLS BACKING-UP CERAMIC TILE SHALL BE 2X4 STUDS 16" O.C. UNLESS OTHERWISE NOTED.

INTERIOR NON-BEARING WALLS MAY BE SPF #3 2X4 STUDS, 24" O.C.

LATERAL WALL BRACING SHALL BE EITHER AN APPROVED METAL "LET-IN" TYPE, WOOD IX6, OR APPROVED STRUCTURAL SHEATHING INSTALLED AT THE END OF EACH WALL AND AT LEAST EVERY 25' INTERVALS AT EACH STORY.

RAFTERS - SEE PLANS FOR SIZE, SPACING, MINIMUM GRADE AND SPECIES.

DESIGN, FABRICATION AND INSTALLATION OF TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE TPI-82.

BRACING OF WOOD TRUSSES TO BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE, INC. PUBLICATION BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS HIB-91.

PLYWOOD: ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCIAL STANDARDS FOR THAT TYPE, GRADE AND SPECIES OF WOOD, AND SHALL BE IDENTIFIED BY AN APPROVED TESTING AGENCY.

PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED TO JOISTS IN ACCORDANCE WITH APA RECOMMENDATIONS. LEAVE 1/16" SPACE AT ALL EDGES FOR EXPANSION.

PLYWOOD ROOF SHEATHING SHALL BE INSTALLED WITH PANEL CLIPS (I PER BAY.) LEAVE I/16" SPACE AT PANEL ENDS.

REFERENCE TO NOMINAL THICKNESS SHALL MEAN THE FOLLOWING ACTUAL THICKNESS AND SPECIFICATIONS 3/4" = 23/32" APA RATED STURDI-FLOOR 24 O.C. EXPOSURE 5/8" = 19/32" APA RATED STURDI-FLOOR 24 O.C EXPOSURE 1/2" = 15/32" APA RATED SHEATHING 32/16 EXPOSURE 7/16"= 7/16" RATED SHEATHING (OSB) 24/16, EXPOSURE

FOR ATTACHED DWELLINGS, PROVIDE FIRE RESISTANT TREATED (F.R.T.) ROOF SHEATHING 4-FEET EACH SIDE OF PARTYWALL CENTERLINE. PLYWOOD SHALL BE CERTIFIED NOT TO CAUSE ACID HYDROLYSIS AT MOST CONDITIONS AT TEMPERATURE BELOW 400 F. ALTERNATIVES TO THE USE OF F.R.T. SHALL ONLY BE AS APPROVED BY THE LOCAL JURISDICTION. THE INSTALLATION OF AN APPROVED FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFIPA I3D MAY ALLEVIATE THE NEED FOR F.R.T. IN CERTAIN JURISDICTIONS - VERIFY WITH BUILDING CODE OFFICIAL.

ALL WOOD LESS THAN 8" FROM GRADE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE CCA 40 PRESSURE TREATED.

NOTCHES IN TOP OR BOTTOM OF A JOIST SHALL NOT EXCEED 1/6 OF DEPTH AND SHALL NOT OCCUR IN CENTER THIRD OF SPAN.

HOLES BORED IN A JOIST SHALL NOT BE WITHIN 2" OF TOP OR BOTTOM, AND SHALL NOT EXCEED 1/3 THE DEPTH.

UNLESS NOTED ELSEWHERE ON THESE DRAWINGS, STRUCTURAL WINDOW AND DOOR HEADERS SHALL BE MIN. SPF NO.2 (Fb = 875 PSI) AND BE THE FOLLOWING SIZES:

MAX. OPENING HEADER SUPPORTING 5'-0" 2-2X8 6'-6" 2-2XIO 2-2XI2 ROOF + I STORY 2-2X8 4'-0" 2-2XIO 2-2X|2 ROOF + 2 STORIES 2-2XIO 5'-0" 2-2XI2

FOR OPENINGS GREATER THAN THOSE NOTED, CONSULT THE ARCHITECT OR ENGINEER IF NOT NOTED ON DRAWINGS.

#### THERMAL & MOISTURE PROTECTION

DAMPPROOFING: APPLY (1) COAT OF ASPHALT EMULSION TO EXTERIOR OF ALL BELOW GRADE WALLS AT BASEMENT CONDITIONS. WHEN HABITABLE SPACE OCCURS BELOW GRADE, PROVIDE WATERPROOFING MEMBRANE, AQUEOUS BASED ELASTOMERIC, VINYL ACRYLIC MASTIC, 35 MIL MIN. THICKNESS, OR OTHER APPROVED EQUAL.

SLAB VAPOR BARRIER: 6 MIL POLYETHYLENE SHEET WHERE NOTED ON DRAWINGS. OVERLAY ALL EDGES 6".

SILL SEALER: 1/2"X 5 1/2" COMPRESSIBLE FIBERGLASS BENEATH ALL EXTERIOR SILL PLATES, OR OTHER APPROVED SILL SEALER.

PROVIDE APPROVED CORROSION - RESISTIVE FLASHING AT THE INTERSECTIONS OF MASONRY AND WOOD FRAME CONSTRUCTION; OVER PROJECTING WOOD TRIM; WHERE DECKS, PORCHES, ETC. ATTACH TO WOOD FRAME CONSTRUCTION; AT WALL AND ROOF INTERSECTIONS; AT CHIMNEY AND ROOF INTERSECTIONS; IN ROOF VALLEYS; AT ALL ROOF PENETRATIONS; AND AT WALL OPENINGS IF RECOMMENDED BY WINDOW AND DOOR MANUFACTURER.

UNLESS OTHERWISE SPECIFIED ON DRAWINGS PROVIDE AND INSTALL THERMAL INSULATION AS FOLLOWS:

WALLS: I) 2X4 STUD WALLS: R-13 FIBERGLASS BATTS WITH INTEGRAL VAPOR BARRIER.

2) 2X6 STUD WALLS: R-19 FIBERGLASS BATTS WITH INTEGRAL VAPOR BARRIER.

FLOORS OVER GARAGE: R-19 FIBERGLASS BATTS WITH INTEGRAL VAPOR BARRIER. CANTILEVERED FLOORS: R-30 BATTS W/ INT. VAPOR BARRIER.

INTERIOR CEILINGS AT ROOF: R-30 FIBERGLASS BATT (OR EQUAL PER CODE) WITH INTEGRAL VAPOR BARRIER, COMBINATION R-11 BATT AND R-19 BLOWN INSULATION, OR R-30 BLOWN, ADDITIONAL FREE VENTILATION IS REQUIRED IF VAPOR BARRIER IS NOT USED.

BASEMENT FOUNDATION WALLS: R-II FIBERGLASS BATT WITH F.S.25 FACING. CRAWL SPACE WALLS: R-19 WITH F.S.25 FACING.

SLAB PERIMETERS EXPOSED TO OUTSIDE OR WITHIN 30" OF GRADE: R4.5X24", EITHER VERTICAL OR HORIZONTAL FROM SLAB/WALL INTERSECTION.

ROOFING: UNLESS NOTED OTHERWISE, ROOFING SHALL BE MIN. 30 YEAR CLASS "C" FIBERGLASS BASED ASPHALT SHINGLES OVER 15 POUND FELT. EAVE FLASHING TO A POINT 24" INSIDE OF INTERIOR FACE OF WALL LINE MAY BE ALSO INSTALLED AT THE OWNER'S DISCRETION.

WALL SHEATHING: AS SHOWN ON DRAWINGS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

MANUFACTURER'S INSTRUCTIONS. GUTTERS AND LEADERS: .032" PREFINISHED ALUMINUM GUTTERS WITH .024" PREFINISHED ALUMINUM LEADERS. LEAD TO

SIDING MATERIAL: AS SHOWN ON DRAWINGS AND INSTALLED PER

## DOORS AND WINDOWS

CONCRETE SPLASH BLOCKS OR AS REQUIRED.

IF REVIEW IS UNDER THE 1993 EDITION OF BOCA (UNAMENDED) ALL INTERIOR DOORS, EXCEPT CLOSETS LESS THAN IO S.F., SHALL BE MIN. 2'-8" IN WIDTH.

EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW PROVIDING 5.7 S.F. OF NET CLEAR OPENING WITH A SILL HEIGHT NOT MORE THAN 44" A.F.F.

SAFETY GLAZING (TEMPERED) SHALL BE PROVIDED IN SLIDING GLASS DOORS, SHOWER AND TUB ENCLOSURES AND WINDOWS WITHIN 6 FEET OF TUB.

SIDELIGHTS. FIXED PANELS GREATER THAN 9 S.F., WITHIN 18" A.F.F. OR WITHIN 36" OF A WALKING SURFACE. GLAZING WITHIN 12" OF A STAIR RAILING

PROVIDED SELF-CLOSING DOOR BETWEEN DWELLING AND GARAGE. DOOR SHALL BE I 3/4" THICK SOLID WOOD OR INSULATED STEEL W/ MIN. 20 MIN. RATING.

#### FINISHES

9.01.0 DRYWALL: 1/2" TAPERED EDGE GYPSUM BOARD APPLIED, TAPED. AND FINISHED IN ACCORDANCE WITH GYPSUM ASSOCIATION GA-216 AND ASTM C-840.

5/8" OR 1/2" GYPSUM BOARD IS TO BE USED TO COMPLETELY SEPARATE GARAGE FROM LIVING AREA, APPLIED ON GARAGE SIDE PER THE PLANS, OR IN MANOR ACCEPTABLE TO LOCAL JURISDICTION. (SEE GENERAL CONSTRUCTION NOTE #19)

PROVIDE RATED ASSEMBLIES AS DETAILED IN THE DRAWINGS FOR PARTYWALLS OR OTHER RATED WALLS OR FLOORS. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE TESTING AGENCY'S REQUIREMENTS.

WHEN CERAMIC TILE IS USED, WATER RESISTANT GYPSUM BOARD 1/2" THICK, OR APPROVED EQUAL, IS REQUIRED AT TUB AND SHOWER SURROUNDS TO A HEIGHT OF 36" ABOVE TUB OR SHOWER PAN. GLASS MESH AND CEMENT BOARD IS AN ACCEPTABLE ALTERNATE.

PAINT (INTERIOR) UNLESS DIRECTED OTHERWISE: CEILINGS: (1) COAT PRIMER, (1) COAT FLAT LATEX FINISH WALLS: (1) COAT PRIMER, (1) COAT FLAT LATEX FINISH TRIM: (I) COAT PRIMER, (I) COAT SEMI-GLOSS ENAMEL

PAINT (EXTERIOR) UNLESS DIRECTED OTHERWISE: I) TRIM: (I) COAT PRIMER, (I) COAT FINISH OR EXTERIOR GRADE EXTERIOR LATEX SEMI-GLOSS ENAMEL.

CERAMIC TILE: WALLS: GLAZED MOSAIC TILE OVER WATER RESISTANT GYPSUM BOARD OR GLASS MESH MORTAR UNITS. USE THIN SET ORGANIC ADHESIVE (ANSI A108.4) OVER GYPSUM BOARD AND DRY-SET LATEX PORTLAND MORTAR (ANSI A108.5) OVER CEMENT BOARD FLOORS: GLAZED MOSAIC TILE OVER MINIMUM 5/8" PLYWOOD UNDERLAYMENT, SCREWED 12" O.C. TO SUBFLOOR. USE EPOXY

RESILIENT FLOORS: SHEET VINYL RESILIENT FLOORING, OVER 1/4" MIN. FIBERBORAD OR PLYWOOD UNDERLAYMENT.

MORTAR AND GROUT APPLICATION (ANSI A118.3)

FIREPLACES: PRE-BUILT U.L. APPROVED, SELECTED BY THE OWNER AND INSTALLED ACCORDING TO CODE AND MANUFACTURER'S RECOMMENDATIONS, IF APPLICABLE.

TOILET AND BATH ACCESSORIES PER PLANS, OR BY OWNER.

MIRRORS: MIRROR QUALITY & SIZES PER PLANS, OR BY OWNER. PROVIDE TWO TOWEL BARS FOR EACH FULL BATH, ONE PER POWDER ROOM.

PROVIDE EITHER SHOWER RODS 80" AFF OR TEMPERED OR SAFETY LAMINATE GLASS DOORS, PER OWNER.

#### MECHANICAL

HVAC AND PLUMBING CONTRACTORS SHALL COORDINATE ALL OPENINGS IN JOISTS, TRUSSES, ETC. WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK. ALL WORK SHALL BE IN COMPLIANCE WITH ALL LOCAL MECHANICAL AND PLUMBING CODES.

PROVIDE ONE DAMPERED REGISTER PER 900 SQUARE FOOT OF UNFINISHED BASEMENT SPACE.

PROVIDE EXHAUST FANS AT EACH BATH, AND VENT TO EXTERIOR OF HOUSE.

DETACHED DWELLINGS CONSTRUCTED IN PRINCE GEORGE'S COUNTY, MARYLAND AND ALL ATTACHED DWELLINGS CONSTRUCTED IN THE STATE OF MARYLAND SHALL INCLUDE A FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFIPA I3D.

ALL DUCTWORK THAT PENETRATES A RATED WALL OR FLOOR ASSEMBLY SHALL BE PROVIDED WITH FIRE DAMPERS.

ALL VENTS AND FLUES SHALL BE INSTALLED WITH A MINIMUM OF I" CLEARANCE TO ADJACENT WOOD FRAMING GREATER IF SPECIFIED BY MANUFACTURER.

ANY PIPING PASSING UNDER FOOTINGS OR THROUGH A FOUNDATION WALL OR SLAB SHALL BE PROVIDED WITH A SLEEVE TWO PIPE SIZES LARGER THAN THE SUBJECT PIPE.

PROVIDE OVERFLOW PANS AND DRAINS FOR WASHER AND/OR WATER HEATER WHEN LOCATED ON WOOD FLOOR SYSTEM. PROVIDE HOSE BIBBS (FREEZE-PROOF OR WITH SHUT OFFS) AT

FRONT AND REAR OF SINGLE FAMILY DWELLINGS. PROVIDE I 1/2" CONDENSATE LINE FROM WATER HEATER AND AIR HANDLER TO POSITIVE OUTFALL OR TO SUMP PUMP

#### ELECTRICAL

IF PROVIDED.

WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY, AND ALL APPLICABLE LOCAL REGULATIONS. FIXTURES AND APPLIANCES AS SELECTED BY THE OWNER.

ALL RECEPTACLES AT KITCHEN COUNTERS, VANITIES AND REFRIGERATOR TO BE 42" A.F.F. ALL OTHERS TO BE 13"

PROVIDE G.F.I. RECEPTACLES AT ALL WET LOCATIONS IN ACCORDANCE WITH N.E.C..

PROVIDE HARDWIRED SMOKE DETECTORS AT EACH FLOOR LEVEL WITHIN 10'-0" OF EACH SLEEPING AREA, NOT CLOSER THAN FOUR FEET FROM RETURN AIR INLETS. ALL DETECTORS SHALL BE INTERCONNECTED TO SOUND SIMULTANEOUSLY. IF PERMIT IS ISSUED UNDER 1993 BOCA CODE AND DWELLING IS NOT SPRINKLERED ,INSTALL ADDITIONAL SMOKE DETECTORS IN EACH SLEEPING ROOM.

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ROAD



#### FRAMING NOTES

- I. FLOOR FRAMING TO BE 2x10 FLOOR JOISTS AT 16" O.C.
- TYPICAL. HEM FIR #2 [N]
- 2. DOUBLE FLOOR JOISTS UNDER ALL WALLS LONGER THAN 4'-0"
- 3. PROVIDE APPROVED STEEL JOIST HANGERS WHERE REQ'D. \$ NOTED. 4. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS IN THE FLOOR SYSTEM.
- 5. OFFSET FLOOR JOISTS AT ALL W.C. LOCATIONS TO PROVIDE ADEQUATE CLEARENCE
- 6. PROVIDE DOUBLE HEADERS AND DOUBLE TRIMMERS AT ALL FLOOR OPENINGS.
- 7. PROVIDE BRIDGING AT MIDPOINT OF SPANS.
- 8. PROVIDE 3" MINIMUM BEARING.
- 9. FOR ENGINEERED AND MANUFACTURED FLOOR SYSTEMS, FOLLOW MANUFACTURES SPECIFICATIONS.

#### FLOOR JOIST SPAN CHART

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000 SLEEPING AREAS 30 PSF LIVE, 10 PSF DEAD

# SPACING 2x10

24" O.C. | 13'-10" | 16'-1"

HEM FI	R #2		SPF #2	
SPACING	2xlO	2xl2	SPACING	ľ
12" O.C.	18'-6"	22'-6"	12" O.C.	١
16" O.C.	16'-10"	19'-8"	16" O.C.	
14 011 0 0	IFI / II	1-1 111	14 011 0 0	ſī

911 2	=	
SPACING	2x10	2xl2
12" O.C.	19'-0"	23'-0"
16" O.C.	17'-2"	9'-  "
19.2" O.C.	15'-8"	18'-3"
24" O.C.	4'- "	16'-3"

SPACING 2xIO 2xI2

19.2" O.C. | 14'-1" | 16'-3"

24" O.C. | 12'-7" | 14'-7"

17'-3" 20'-7"

15'-5" 17'-10"

#### FLOOR JOIST SPAN CHART

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000 ALL AREAS OTHER THAN SLEEPING AREAS 40 PSF LIVE, IO PSF DEAD

HEM	FIR	#2
-----	-----	----

<u>                                    </u>	\ ''	
SPACING	2xl0	2xl2
12" O.C.	16'-10"	20'-4"
16" O.C.	15'-2"	17'-7"
19.2" O.C.	13'-10"	16'-1"
24" O.C.	12'-5"	4'-4"

GENERAL NOTES:

I. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN IRC 2000 TABLE R404.I.(I) OR R404.I.(2), TABLES R404.I.(3) AND R404.I.(4) AND SHALL ALSO COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION R402.2

			PLAIN CONCRETE MINIMUM NOMINAL WALL THICKNESS (inches)		PLAIN MASONRY® MINIMUM NOMINAL WALL THICKNESS (inches)		
	MAXIMUM				Soil classes <sup>b</sup>		
MAXIMUM WALL HEIGHT (feet)	UNBALANCED BACKFILL HEIGHT <sup>C</sup> (foot)	GW, GP, SW and SP	GM, GC, SM, SM-SC and ML	SC, MH, ML-CL and inorganic CL	GW, GP, SW and SP	GM, GC, SM, SM-SC and ML	SC, MH, ML-CL and inorganic CL
5	4 5	6	6	6	6 solid <sup>d</sup> or 8 6 solid <sup>d</sup> or 8	6 solid <sup>d</sup> or 8 8	6 solid <sup>d</sup> or 8
6	4 5 6	6 6 6	6 6 8g	6 6 8g	6 solid <sup>d</sup> or 8 6 solid <sup>d</sup> or 8 8	6 solid <sup>d</sup> or 8 8 10	6 solid <sup>d</sup> or 8 10 12
7	4 5 6 7	6 6 6 8	6 6 8 8	6 8 <sup>g</sup> 8 10	6 solid <sup>d</sup> or 8 6 solid <sup>d</sup> or 8 10 12	8 10 12 10 solid <sup>d</sup>	8 10 10 solid <sup>d</sup> 12 solid <sup>d</sup>
8	4 5 6 7 8	6 6 8 8 10	6 6 8 10	6 8 10 10 12	6 solid <sup>d</sup> or 8 6 solid <sup>d</sup> or 8 10 12 10 solid <sup>d</sup>	6 solid <sup>d</sup> or 8 10 12 12 solid <sup>d</sup> 12 solid <sup>d</sup>	8 12 12 solid <sup>d</sup> Footnote e Footnote e
9	4 5 6 7 8	6 6 8 8 10	6 88 8 10 10	6 8 10 10 12 Footnote f	6 solid <sup>d</sup> or 8 8 10 12 12 solid <sup>d</sup> Footnote e	6 solid <sup>d</sup> or 8 10 12 12 solid <sup>d</sup> Footnote e Footnote e	8 12 12 solid <sup>d</sup> Footnote e Footnote e Footnote e

a. Mortar shall be Type M or S and masonry shall be laid in running bond. Ungrouted hollow masonry units are permitted except where otherwise indicated.
b. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1. For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square inch = 6.895 Pa. b. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1.

g. Thickness may be 6 inches, provided minimum specified compressive strength of concrete,  $f_c$ , is 4,000 psi.

e. Wall construction shall be in accordance with Table R404.1.1(2) or a design shall be provided.

d. Solid grouted hollow units or solid masonry units.

		MINIMUM VERTICAL REINFORCEMENT SIZE AND SPACING <sup>b, c</sup> FOR 8-INCH NOMINAL WALL THICKNESS				
MAXIMUM WALL	MAXIMUM UNBALANCED		Soil classes <sup>d</sup>			
HEIGHT (feet)	BACKFILL HEIGHT®	GW, GP, SW and SP soils	GM, GC, SM, SM-SC and ML soils	SC, MH, ML-CL and inorgani CL soils		
6	5	#4 at 48" o.c.	#4 at 48" o.c. #4 at 40" o.c.	#4 at 48" o.c. #5 at 48" o.c.		
	6	#4 at 48" o.c.				
	4	#4 at 48" o.c. #4 at 48" o.c.	#4 at 48" o.c. #4 at 48" o.c.	#4 at 48" o.c. #4 at 40" o.c.		
7	6	#4 at 48" o.c.	#5 at 48" o.c.	#5 at 40" o.c.		
	7	#4 at 40" o.c.	#5 at 40" o.c.	#6 at 48" o.c.		
	5	#4 at 48" o.c.	#4 at 48" o.c.	#4 at 40" o.c.		
8	6	#4 at 48" o.c.	#5 at 48" o.c.	#5 at 40" o.c.		
8	7	#5 at 48" o.c.	#6 at 48" o.c.	#6 at 40" o.c.		
	8	#5 at 40" o.c.	#6 at 40" o.c.	#6 at 24" o.c.		
	5	#4 at 48" o.c.	#4 at 48" o.c.	#5 at 48" o.c.		
	6	#4 at 48" o.c.	#5 at 48" o.c.	#6 at 48" o.c.		
9	7	#5 at 48" o.c.	#6 at 48" o.c.	#6 at 32" o.c.		
	8	#5 at 40" o.c.	#6 at 32" o.c.	#6 at 24" o.c.		
	9	#6 at 40" o.c.	#6 at 24" o.c.	#6 at 16" o.e.		

a. Mortar shall be Type M or S and masonry shall be laid in running bond. Alternative reinforcing bar sizes and spacings having an equivalent cross-sectional area of reinforcement per lineal foot of wall shall be permitted provided the spacing of the reinforcement does not exceed 72 inches. Vertical reinforcement shall be Grade 60 minimum. The distance from the face of the soil side of the wall to the center of vertical reinforcement shall be at least 5 inches.

d. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1. Unbalanced backfill height is the difference in height of the exterior and interior finish ground levels. Where an interior concrete slab is provided, the unbalanced backfill height shall be measured from the exterior finish ground level to the top of the interior concrete slab.

		VERTICAL REINFORCEMENT SIZE AND SPACING <sup>b,c</sup> FOR 12-INCH NOMINAL WALL THI					
MAXIMUM WALL	MAXIMUM UNBALANCED		Soil classes <sup>d</sup>	)şd			
HEIGHT (feet)	BACKFILL HEIGHT®	GW, GP, SW and SP soils	GM, GC, SM, SM-SC and ML soils	SC, MH, ML-CL and inorganic CL soils			
	4	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.			
7	5	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.			
′	6	#4 at 72" o.c.	#4 at 64" o.c.	#4 at 48" o.c.			
	7 .	#4 at 72" o.c.	#4 at 48" o.c.	#5 at 56" o.c.			
	5	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.			
8	6	#4 at 72" o.c.	#4 at 56" o.c.	#5 at 72" o.c.			
8	7	#4 at 64" o.c.	#5 at 64" o.c.	#4 at 32" o.c.			
	8	#4 at 48" o.c.	#4 at 32" o.c.	#5 at 40" o.c.			
	5	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.			
	6	#4 at 72" o.c.	#4 at 56" o.c.	#5 at 64" o.c.			
9	7	#4 at 56" o.c.	#4 at 40" o.c.	#6 at 64" o.c.			
	8	#4 at 64" o.c.	#6 at 64" o.c.	#6 at 48" o.c.			
	9	#5 at 56" o.c.	#7 at 72" o.c.	#6 at 40" o.c.			

a. Mortar shall be Type M or S and masonry shall be laid in running bond. . Vertical reinforcement shall be Grade 60 minimum. The distance from the face of the soil side of the wall to the center of vertical reinforcement shall be at least 8.75 inches. d. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1.

e. Unbalanced backfill height is the difference in height of the exterior and interior finish ground levels. Where an interior concrete slab is provided, the unbalanced backfill height shall be measured from the exterior finish ground level to the top of the interior concrete slab.

1	5	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.	0. SIRUCIURAL ENGINEER (JUHN SCHNEI)
1	3				5. 511 45 151 4 E FIOTIELI /   45111 55111 E
1	6	#4 at 72" o.c.	#4 at 56" o.c.	#5 at 72" o.c.	
l	7	#4 at 64" o.c.	#5 at 64" o.c.	#4 at 32" o.c.	DURING EXCAVATION. SHORING OF FOUN
ĺ	8	#4 at 48" o.c.	#4 at 32" o.c.	#5 at 40" o.c.	
i	5	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.	GRADE CONDITIONS UNTIL BACKFIL IS PR
	ő	#4 at 72" o.c.	#4 at 56" o.c.	#5 at 64" o.c.	
l	7	#4 at 56" o.c.	#4 at 40" o.c.	#6 at 64" o.c.	
I	,	#4 at 64" o.c.			
ı	0		#6 at 64" o.c.	#6 at 48" o.c.	
ĺ	9	#5 at 56" o.c.	#7 at 72" o.c.	#6 at 40" o.c.	
^					

3G, SM, SM-SC and 1
#4 at 56° o.c.
#4 at 48° o.c.
#5 at 56° o.c.
#4 at 48° o.c.
#4 at 48° o.c.
#4 at 56° o.c.
#4 at 56° o.c.
#4 at 56° o.c.
#5 at 40° o.c.
#6 at 48° o.c.
#6 at 48° o.c. #4 at 36" o.c. #4 at 56" o.c. #4 at 56" o.c. #4 at 56" o.c. #4 at 48" o.c. #5 at 56" o.c. #4 at 56" o.c. #4 at 56" o.c. #4 at 36" o.c. #4 at 30" o.c. #5 at 40" o.c.

a. Mortar shall be Type M or S and masonry shall be laid in running bond. c. Vertical reinforcement shall be Grade 60 minimum. The distance from the face of the soil side of the wall to the center of vertical reinforcement shall be at leas 6.75 inches. d. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1.

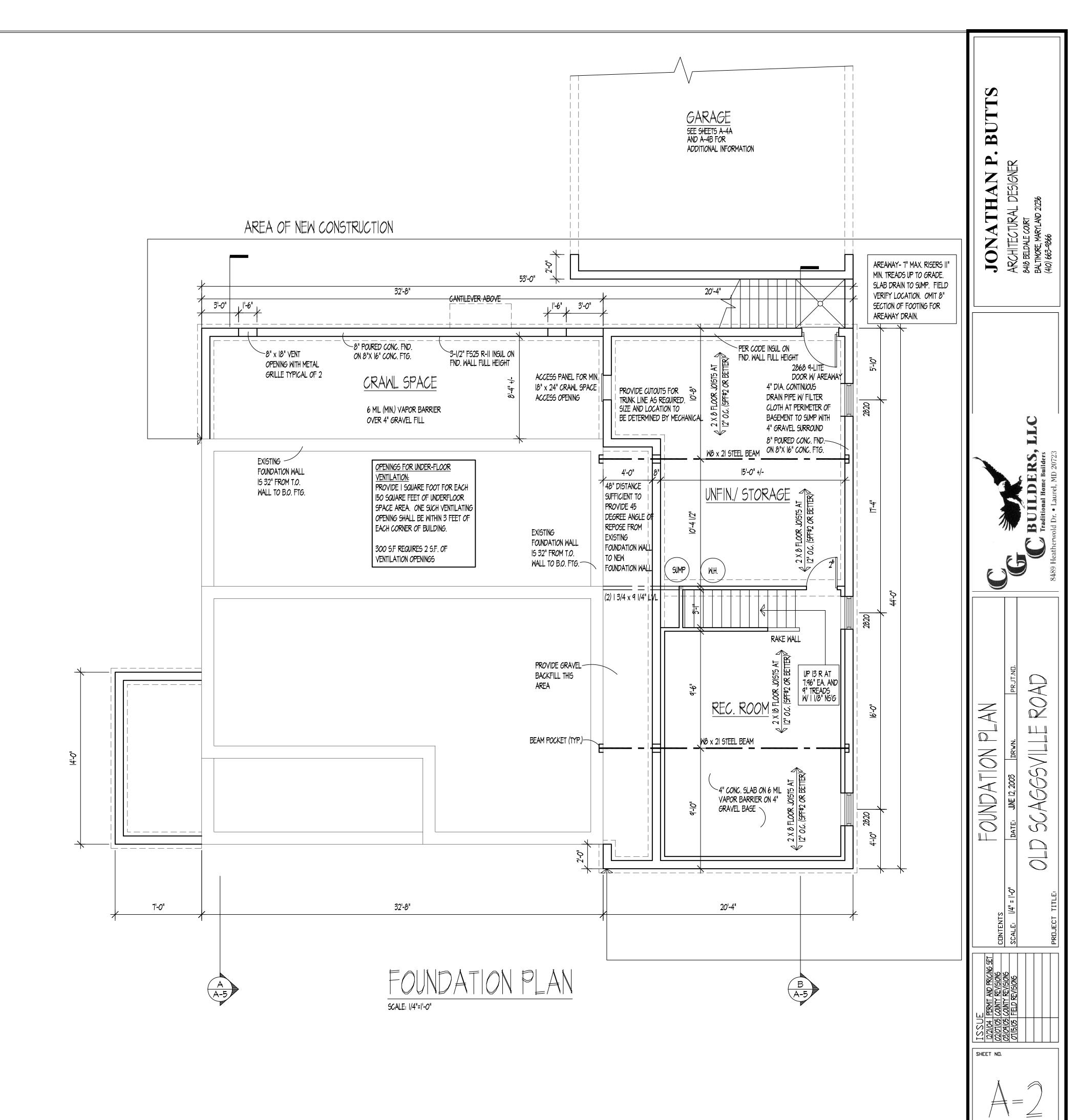
> 2. ALL FOUNDATION WALL ANCHORAGE SHALL COMPLY TO SECTION R403.1.6 OF THE 2000 IRC. PROVIDE WOOD SILL PLATEANCHORED TO THE FOUNDATION WALL WITH ANCHOR BOLTS SPACED A MAX. OF 6'-O" O.C. ANCHOR BOLTS SHALL ALSO BE LOCATED WITHIN I'-O" OF THE ENDS OF EACH PLATE SECTION. BOLTS SHALL BE MIN 1/2" DIA. AND SHALL EXTEND A MIN 7" INTO THE CONCRETE. INTERIOR BEARING WALL SILL PLATES ON SLAB FOUNDATIONS SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. A NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT TO THE PLATE.

3. ALL FASTENERS AND CONNECTORS USED WITH TREATED LUMBER SHALL MEET ASTM 153, ASTM 653, CLASS 185.

4. PROVIDE RADON CONTROL METHODS AS SET FORTH IN SECTION AFIO3.6.1., APPENDIX F OF 2000 IRC.

5. ALL FRAMING AND FOUNDATION WORK TO BE ENGINEERED BY STRUCTURAL ENGINEER (JOHN SCHNEIDER, P.E.). ON SITE INSPECTIONS AND CERTIFICATION WILL BE PROVIDED DURING INSPECTIONS FOR FOUNDATION AND FRAMING. FLOOR TRUSSES AND ROOF TRUSSES TO BE ENGINEERED (BY 84 COMPONENTS) AND ALSO TO BE SUPPLIED BY MANUFACTURER FOR FRAMING INSPECTIONS.

6. STRUCTURAL ENGINEER (JOHN SCHNEIDER, P.E.). TO BE ON SITE DUNDATION WALLS PER EXISTING PROVIDED.



## FLOOR JOIST SPAN CHART

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000 SLEEPING AREAS
30 PSF LIVE, IO PSF DEAD

## HEM FIR #2

SPF #2

_ '	<b>\</b>		_ <u> </u>
ACING	2xlO	2xl2	SPACING
O.C.	18'-6"	22'-6"	12" O.C.
O.C.	16'-10"	19'-8"	16" O.C.
2" <i>O.</i> C.	15'-6"	17'-1"	19.2" O.C.
" O.C.	13'-10"	6'- "	24" O.C.

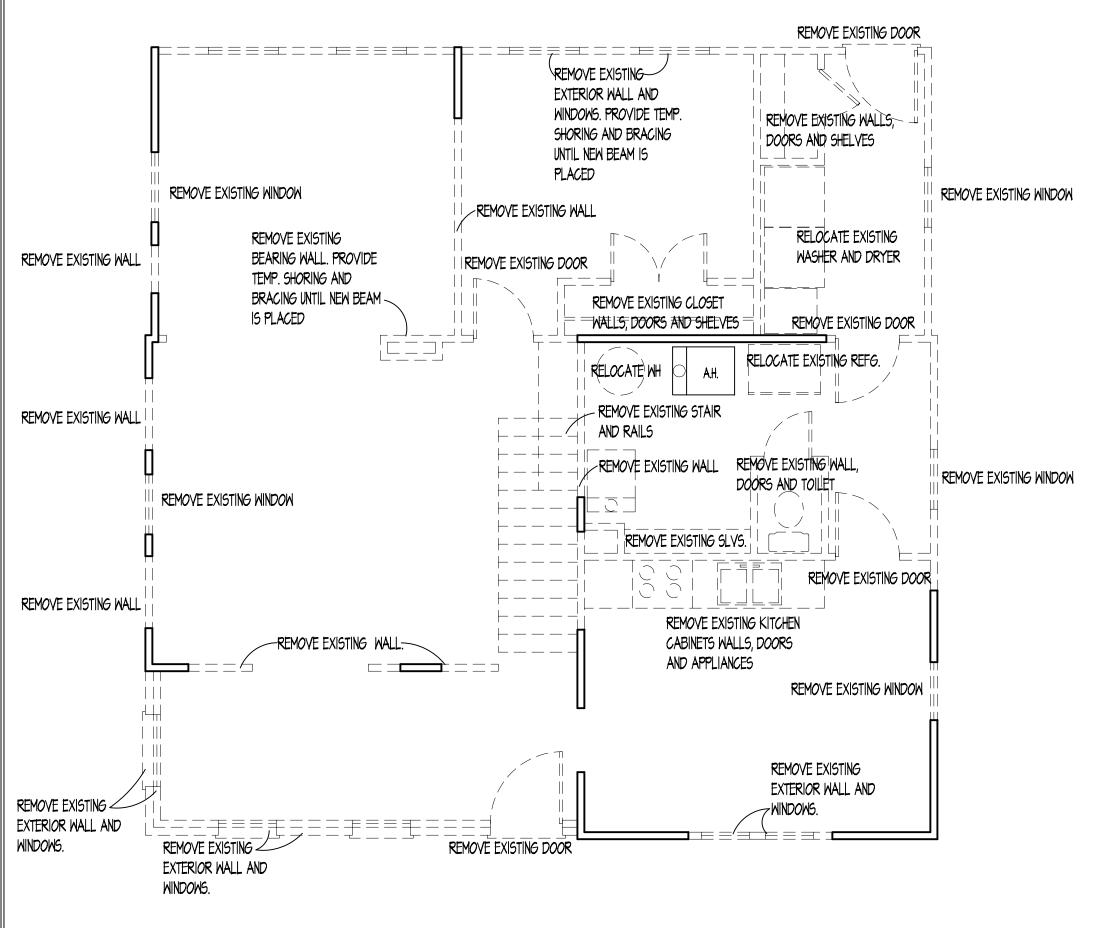
FLOOR JOIST SPAN CHART

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000 ALL AREAS OTHER THAN SLEEPING AREAS 40 PSF LIVE, 10 PSF DEAD

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	<b>X</b> # <u>∠</u>	
SPACING	2xlO	2xl2
12" O.C.	16'-10"	20'-4"
16" O.C.	15'-2"	17'-7"
19.2" O.C.	13'-10"	16'-1"
24" O.C.	12'-5"	4'-4"

	SPF #2		
	SPACING	2xlO	2xl2
	12" O.C.	17'-3"	20'-
	16" O.C.	15'-5"	17'-IC
	19.2" O.C.	4'- "	16'-3
ĺ	24" O.C.	12'-7"	14'-7'



FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"

FRAMING NOTES

TYPICAL. HEM FIR #2 [N]

I. FLOOR FRAMING TO BE 2x10 FLOOR JOISTS AT 16" O.C.

7. PROVIDE BRIDGING AT MIDPOINT OF SPANS.

8. PROVIDE 3" MINIMUM BEARING.

MANUFACTURES SPECIFICATIONS.

2. DOUBLE FLOOR JOISTS UNDER ALL WALLS LONGER THAN 4'-0"

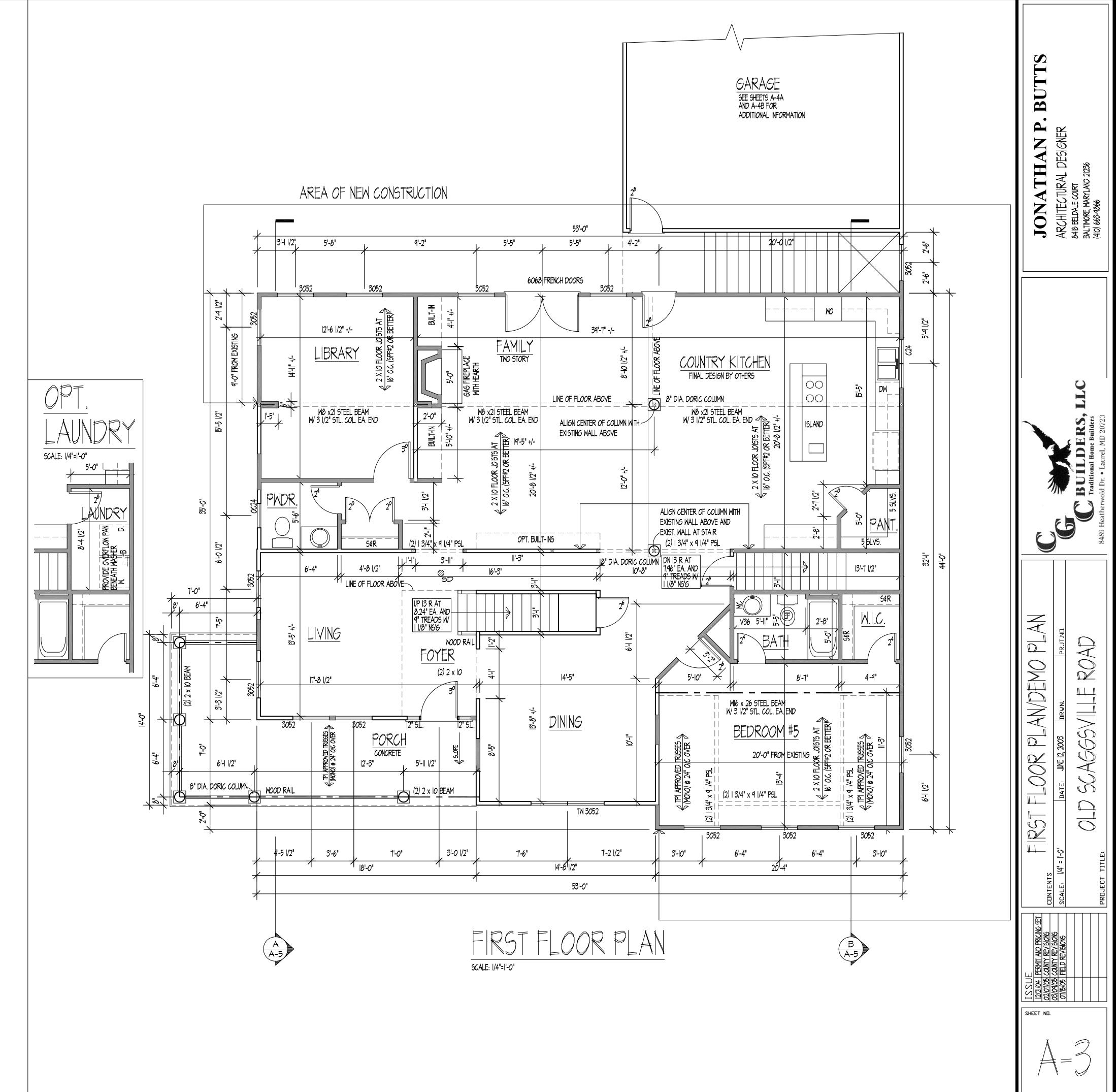
3. PROVIDE APPROVED STEEL JOIST HANGERS WHERE REQ'D. \$ NOTED.

9. FOR ENGINEERED AND MANUFACTURED FLOOR SYSTEMS, FOLLOW

4. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS IN THE FLOOR SYSTEM.

6. PROVIDE DOUBLE HEADERS AND DOUBLE TRIMMERS AT ALL FLOOR OPENINGS.

5. OFFSET FLOOR JOISTS AT ALL W.C. LOCATIONS TO PROVIDE ADEQUATE CLEARENCE.



#### FLOOR JOIST SPAN CHART

FLOOR JOIST SPAN CHART

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000 SLEEPING AREAS
30 PSF LIVE, IO PSF DEAD

## HEM FIR #2 SPACING | 2x10 | 2x12

SPF #2						
SPACING	2xlO	2xl2				
12" O.C.	19'-0"	23'-0"				
16" O.C.	17'-2"	9'-  "				
19.2" O.C.	15'-8"	18'-3"				
24" O.C.	4'- "	16'-3"				

I. FLOOR FRAMING TO BE 2x10 FLOOR JOISTS AT 16" O.C.

TYPICAL. HEM FIR #2 [N]
2. DOUBLE FLOOR JOISTS UNDER ALL WALLS LONGER THAN 4'-0"

PROVIDE APPROVED STEEL JOIST HANGERS WHERE REQ'D. \$ NOTED.
 PROVIDE SOLID BLOCKING AT ALL BEARING POINTS IN THE FLOOR SYSTEM.

OFFSET FLOOR JOISTS AT ALL W.C. LOCATIONS TO PROVIDE ADEQUATE CLEARENCE
 PROVIDE DOUBLE HEADERS AND DOUBLE TRIMMERS AT ALL FLOOR OPENINGS.

PROVIDE DOUBLE HEADERS AND DOUBLE TRI
 PROVIDE BRIDGING AT MIDPOINT OF SPANS.

PROVIDE BRIDGING AT MIDPOIN
 PROVIDE 3" MINIMUM BEARING.

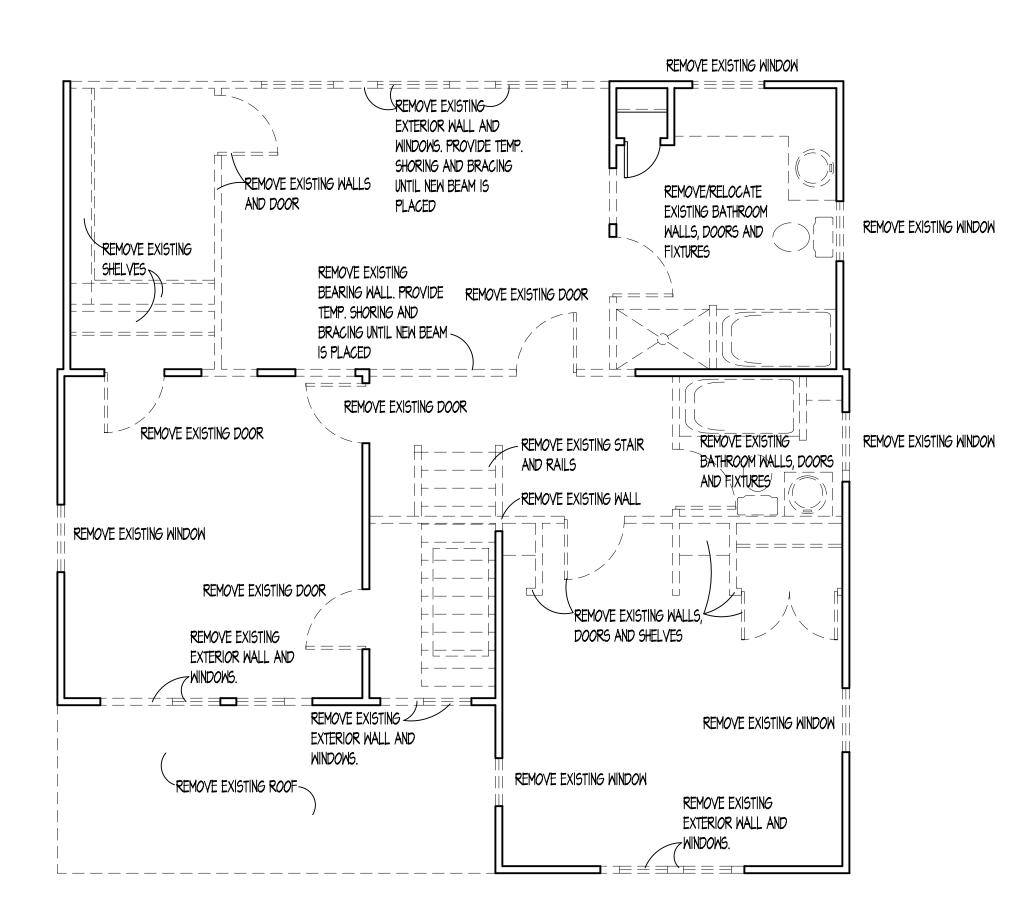
FRAMING NOTES

9. FOR ENGINEERED AND MANUFACTURED FLOOR SYSTEMS, FOLLOW MANUFACTURES SPECIFICATIONS.

HEM FI	R #2
SPACING	2xlO
12" O.C.	16'-10"

SPF #2								
	2xl2		SPACING	2xlO	2xl2			
	20'-4"		12" O.C.	17'-3"	20'-			
	17'-7"		16" O.C.	15'-5"	17'-1			
	6'- "		19.2" O.C.	4'- "	16'-3			
	4'-4"		24" O.C.	12'-7"	14'-			

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000 ALL AREAS OTHER THAN SLEEPING AREAS 40 PSF LIVE, IO PSF DEAD



SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"

